

APPROVED: Yes ☒ No ☐ Environmental Health Specialist: J. Christensen

Address 7114 Lakenheath Lane 80908 Owner Cameron + Belyn Garner

Legal Description Lot 38, F1 #1, Highland Park

Residence ☒ # Bedrooms 5 Commercial ☐ System Installer J & K Excavating

SEPTIC TANK: Commercial ☒ Noncommercial ☐ Construction Material Concrete Capacity Gallon 1500 gallon single compartment

DISPOSAL FIELD: * Trench: Depth (Range) Width Total Length Sq. Ft. 1250 gallon - 2 compartment

Bed: Depth (Range) Length Width Sq. Ft.

Depth of Rock Under PVC Type of cover on Rock

DRYWELLS: # of Pits Rings (Pit 1) Rings (Pit 2) Working Depth #1 #2

Size (L x W) #1 #2 Total Sq. Ft.

ROCKLESS SYSTEMS:

Standard Chamber: Type #Chambers Sq. Ft./Chamber Bed Trench

High Profile Units: Type Chamber #Chambers Sq. Ft./Chamber Bed Trench

Reduction Allowed % Sq. Ft. Required 5600 Depth (Range)

Sq. Ft. Installed 5600 Equivalent Sq. Ft. Installed with Reduction N/A

Engineer Design ☒ N Engineering Firm Woodland Engineering - Brian Johnson

Approval letter provided? ☒ N

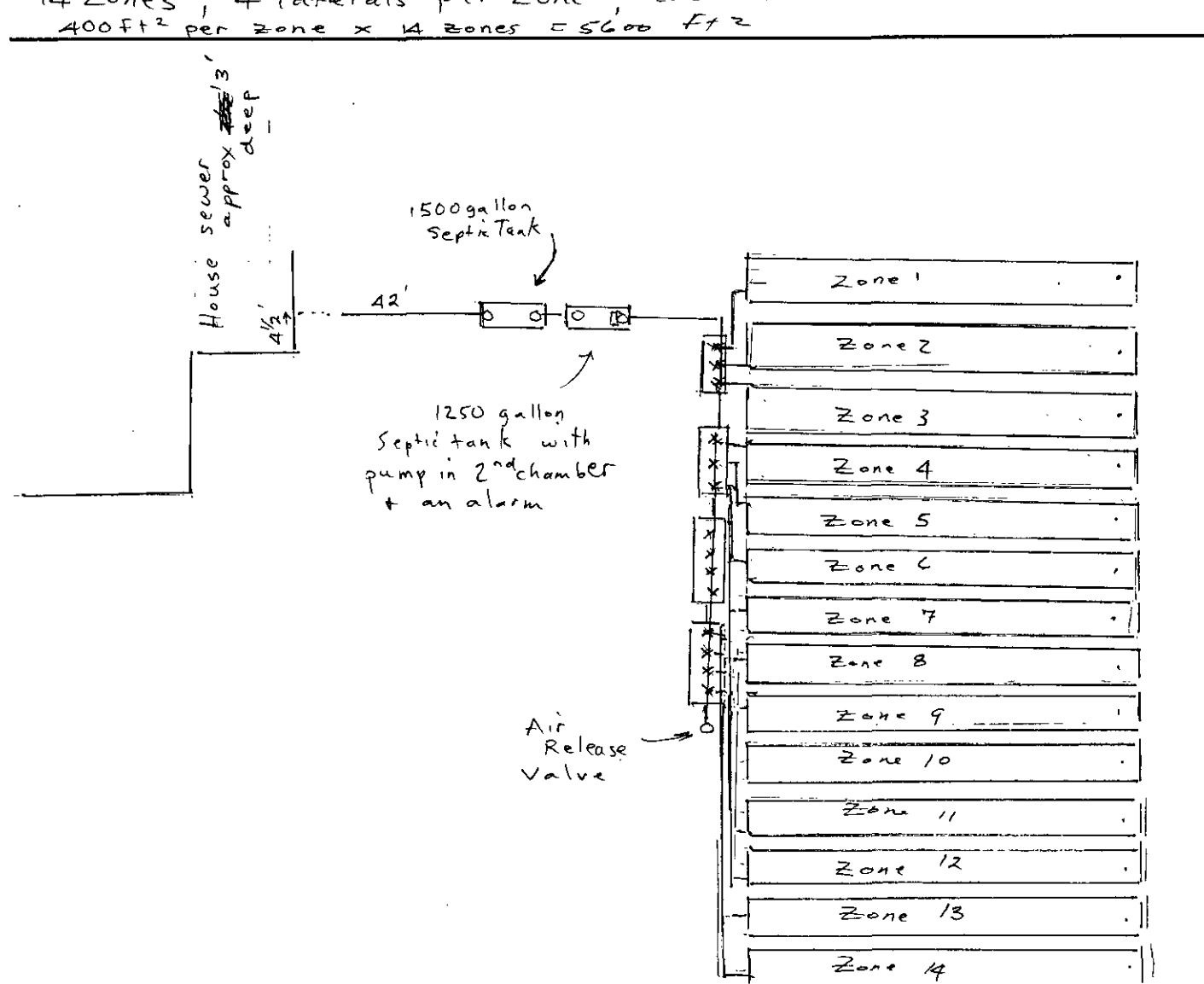
Well installed at time of septic system inspection? Y ☒ N Public Water?

*Approval will be revoked if in the future the well is found to be within 50 feet of the septic tank and/or 100 feet of the disposal field.

*NOTES: P.E. design drip irrigation field.

14 Zones, 4 laterals per zone, each zone 50 feet in length.

400 ft² per zone x 14 zones = 5600 ft²



Lakenheath Lane

EL PASO COUNTY
DEPARTMENT OF HEALTH AND ENVIRONMENT
301 S Union Blvd, Colorado Springs, Colorado 719-575-8636

INDIVIDUAL SEWAGE DISPOSAL SYSTEM PERMIT

OWNER NAME: CAMERON AND BELYN GARNER PERMIT NUMBER: ON0007074
ADDRESS: 7114 LAKENHEATH LANE
CITY, STATE, ZIP: COLORADO SPRINGS CO 80908 DATE PERMITTED: 3/29/2006
INSTALLED BY: PHONE NUMBER: 7194910998

This permit is issued in accordance with 25-10-107 Colorado Revised Statutes. PERMIT EXPIRES upon completion-installation of sewage-disposal system or at the end of twelve (12) months from date of issue- whichever occurs first-(unless work is in progress). If both a building and an ISDS permit are issued for the same property and construction has not commenced prior to the expiration date of the building permit, the ISDS permit shall expire at the same time as the building permit. This permit is revokable if all stated requirements are not met.

Sewage disposal system to be installed by an El Paso County Licensed System Contractor or the property owner.

THIS PERMIT DOES NOT DENOTE APPROVAL OF ZONING AND ACREAGE REQUIREMENTS.

Rosemary C. Baker-Martin

DIRECTOR, EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT

PERMIT EXPIRATION DATE :
Expires twelve months from date of issue

Janet Christensen 578-3141
ENVIRONMENTALIST / PHONE NUMBER*

* NOTE: FOR INSPECTIONS CALL 575-8699 BEFORE 8:30 A.M. OF THE DAY TO BE INSPECTED.
(WEEKENDS & HOLIDAYS EXCLUDED)

LEAVE THE ENTIRE SEWAGE DISPOSAL SYSTEM UNCOVERED FOR FINAL INSPECTION.

WATER SOURCE: WELL

MINIMUM SEPTIC TANK SIZE: See Remarks GALLONS MINIMUM ABSORPTION AREA REQUIRED See Remarks SQ FT

PLANNING DEPARTMENT



ENUMERATION



FLOOD PLAIN



WASTEWATER



COMMENTS:

DUE TO BEDROCK AT 16 INCHES BELOW NATIVE GROUND SURFACE AND A SLOW PERCOLATION RATE, AN ENGINEER DESIGN SEPTIC SYSTEM IS REQUIRED AT THIS SITE.

INSTALL SYSTEM PER ATTACHED P.E. DESIGN: LOW-PRESSURE DRIP 5,600 SQUARE FEET, TWO 1,250 GALLON TWO COMPARTMENT SEPTIC TANKS IN AREA OF SOIL PERCOLATION TEST.

ABSORPTION AREA MUST BE A MINIMUM OF 110 FEET FROM A WELL. HEALTH DEPARTMENT MUST INSPECT SYSTEM PRIOR TO BACK FILL.

AN ENGINEERS LETTER OF APPROVAL MUST BE RECEIVED BY THIS OFFICE BEFORE FINAL APPROVAL IS GRANTED.

The Health Office shall assume no responsibility in case of failure or inadequacy of a sewage-disposal system, beyond consulting in good faith with the property owner or representative. Free access to the property shall be authorized at reasonable time for the purpose of making such inspections as are necessary to determine compliance with requirements of this law.

FOR ADMINISTRATIVE USE ONLY

Permit Ready: 3-30-06 Called _____ Mailed _____

Final Inspection Requested: BY: John J+K

Date Called In: 6-30-06

Phone # 331-4321

Septic Site will be ready: NOW

EL PASO COUNTY DEPARTMENT OF HEALTH & ENVIRONMENT

301 South Union Boulevard • Colorado Springs, CO • 80910-3123 • (719) 575-8635 • Fax: (719) 578-3188

***ALL PAYMENTS ARE DUE AT TIME OF SUBMITTAL IN CASH OR CHECK**

APPLICATION FOR AN ON-SITE WASTEWATER TREATMENT SYSTEM PERMIT

☒ NEW CONSTRUCTION ☐ MINOR REPAIR ☐ MAJOR REPAIR/ADDOwner Cameron and Belyn GarnerDaytime Phone 719-491-0998Address of Property 7114 Lakenheath LaneCity & Zip Colorado Springs, CO 80908Legal Description Highland Park, Lot 38, Filing 1Owner's MAILING Address 3 Clover Circle W.City, State & Zip Colorado Springs, CO 80906Lot Size 2.5Tax Schedule # 52293-03-010Type of Building: ☒ Frame ☐ Modular ☐ Mobile ☐ Commercial ☐ Manufactured ☐ Other _____Water Supply: ☒ Well or Spring ☐ Cistern ☐ Public Inside City Limits: ☒ No ☐ Yes-City _____☐ MAIL PERMIT OR ☒ PICK UP PERMIT ☐ THERE IS AN ADDITIONAL RESIDENCE ON THIS PROPERTYMAXIMUM POTENTIAL NUMBER OF BEDROOMS 5Percolation Test Attached ☒ NBasement ☒ NGarbage Disposal ☒ NClothes Washer ☒ N

I have supplied a plot plan as described on the back of this form. I acknowledge the completeness of the application is conditional upon such further mandatory and additional tests and reports as may be required by the Department to be made and furnished by an applicant for purposes of evaluating the application, and issuance of the permit is subject to such terms and conditions as deemed necessary to ensure compliance with rules and regulations adopted pursuant to C.R.S. 25-10-107 et. seq. I hereby certify all represented to be true and correct to the best of my knowledge and belief, and are designed to be relied on by the El Paso County Department of Health and Environment in evaluating the same for purposes of issuing the permit applied for herein. I further understand any falsification or misrepresentation may result in the denial of the application or revocation of any permit granted based upon said application and in legal action for perjury as provided by law.

OWNER'S SIGNATURE Cameron B. GarnerDate 3/22/06You will be notified by telephone when your permit is ready for pick up. Please allow a minimum of 10 days for new septic.

DEPARTMENT OF HEALTH USE ONLY

See Remarks

See Remarks

29 March 2006

Minimum Tank Capacity

Minimum Absorption Area

Date of Site Inspection

REMARKS Drainage from north runs at west edge of perc site. Due to bedrock at 16 inches below native ground surface and a slow percolation rate, an engineer design septic system is required at this site. Install system per attached P.E. design: low-pressure drip 5600 ft² two 1250 gallon two compartment septic tanks in area of soil percolation test. Absorption area must be a minimum of 110 ft. from a well. Health Dept. must inspect system prior to backfill. An engineer's letter of approval must be received by this office before final approval is granted.

EHS INSPECTOR Janet ChristensenDATE 03-29-06☒ APPROVED☐ DENIED

FEES AS OF 02/23/2005:

NEW CONSTRUCTION

356

+ Planning Department Surcharge of \$118.00.

468

= \$575.00

MAJOR REPAIR/ADDITION \$448.00

MINOR REPAIR/ADDITION \$154.00

DATE TO PLANNING / WASTEWATER: 3/29/06

DATE TO FLOODPLAIN/ENUMERATIONS _____

PLEASE COMPLETE THE BACK OF THIS FORM

- 1) We require an original of your **PERCOLATION (PERC) TEST** with an original professional engineer's (PE) stamp and signature as well as a plot of the percolation test hole locations with measurements from a fixed reference point.
- 2) **PROPERTY ADDRESS OR LOT NUMBER MUST BE POSTED AND CLEARLY VISIBLE FROM ROAD. PERC HOLES MUST BE CLEARLY MARKED OR AN ADDITIONAL CHARGE FOR A RETURN TRIP TO THE SITE MAY BE ASSESSED.**
- 3) A **PLOT PLAN** must be drawn (not to scale) on an 8 1/2 x 11 sheet of paper. The plot plan must include:

1) a north bearing ✓	4) all buildings (proposed or existing)	7) driveway (proposed or existing and name of adjoining street)
2) property lines ✓	5) proposed septic system site	
3) property dimensions ✓	6) alternate septic system site	
- 4) Initial any of the following features that apply to your property and **INCLUDE** them on your **PLOT PLAN**.

<input checked="" type="checkbox"/> Well(s) ✓	<input type="checkbox"/> Adjacent property well(s)	<input type="checkbox"/> Subsoil drain
<input type="checkbox"/> Cistern	<input type="checkbox"/> Water line	
- 5) Initial any of the following that are within 100 feet of your proposed septic system and **INCLUDE** on your **PLOT PLAN**.

<input type="checkbox"/> Spring(s)	<input type="checkbox"/> Lake(s)
<input type="checkbox"/> Pond(s)	<input type="checkbox"/> Stream(s)
<input type="checkbox"/> Dry Gulch(es)	<input checked="" type="checkbox"/> Natural drainage course(s) ✓

6) GIVE COMPLETE DIRECTIONS TO THE PROPERTY FROM A MAIN HIGHWAY

7114 LAKENHEATH

From Woodman. N on Black Forest Rd. E on Forestgate

N on Cairngorn Way. E on LAKENHEATH Ln. Lot is

is 5th lot on N side OF LAKENHEATH Ln

1/2 of 1750 gallons = 875
 2/3 of 1250 gallons = 833